



**ADDENDUM NO. 1**  
**Alterations to Braswell Homes**  
**Bessemer Alabama Housing Authority**  
**Bessemer, Alabama**  
**ADA No. 1592**  
**February 10, 2020**

This Addendum to drawings and specifications for above referenced project supersedes all contrary and conflicting information contained in said drawings and project manual. Said drawings and project manual are hereby amended in the following particulars and are in full force as part of this contract.

**1. Pre-Bid Conference:**

a. A Pre-Bid Conference (non-mandatory) was held on Thursday February 6, 2020 at 10:00 AM at the Community Center at the site. The following were attendees: (Spelling should be confirmed since the list is based upon a handwritten sign-in sheet.)

|                   |                            |  |
|-------------------|----------------------------|--|
| Paul Roderick     | Adams Design Associates    | <a href="mailto:proderick@adamsdesignarchitects.com">proderick@adamsdesignarchitects.com</a>       |
| David Williams    | Bessemer Housing Authority | <a href="mailto:dwilliams@besha.org">dwilliams@besha.org</a>                                       |
| Doug Stell        | Park Lane                  | <a href="mailto:doug@parklane-construction.com">doug@parklane-construction.com</a>                 |
| David R. Turner   | BMCC                       | <a href="mailto:dturner@bmccinc.com">dturner@bmccinc.com</a>                                       |
| Andrew Wederquist | The Builders Group         | <a href="mailto:andrew@thebuildersgroup.info">andrew@thebuildersgroup.info</a>                     |
| Buddy McLeod      | McLeod Electric            | <a href="mailto:mcleodelect@cableone.net">mcleodelect@cableone.net</a>                             |
| Ginny Farley      | Trawick Contractors Inc.   | <a href="mailto:ginnyf@trawickco.com">ginnyf@trawickco.com</a>                                     |
| Ronald W. Barnard | S Comply Renovation        | <a href="mailto:wolferineman@yahoo.com">wolferineman@yahoo.com</a>                                 |
| Charles McCall    | S Comply Renovation        | <a href="mailto:wolferineman@yahoo.com">wolferineman@yahoo.com</a>                                 |
| Andy Kirkpatrick  | Lubin Enterprises          | <a href="mailto:lubinbid@lubentinc.com">lubinbid@lubentinc.com</a>                                 |
| Andrew Alexander  | Southeast Environmental    | 901-480-8200   |
| Scott Parker      | Park Lane                  | <a href="mailto:scott@parklane-construction.com">scott@parklane-construction.com</a>               |
| Chris Sharbutt    | BMCC                       | <a href="mailto:csharbutt@bmccinc.com">csharbutt@bmccinc.com</a>                                   |
| Scott Parker      | Park Lane                  | <a href="mailto:scott.parker@parklane-construction.com">scott.parker@parklane-construction.com</a> |
| Kenneth Batson    | CSUSA                      | <a href="mailto:kenneth.batson@comfortsystemsusa.com">kenneth.batson@comfortsystemsusa.com</a>     |
| Johnny Rodger     | Floors & More              | <a href="mailto:jrod0072001@yahoo.com">jrod0072001@yahoo.com</a>                                   |
| Lynn Gilbert      | Bessemer Housing Authority |  |

An overview of project requirements, bidding requirements, and time/phasing within units was discussed. Questions were answered. If any answer modified the contract requirements, the modification is included in this ADDENDUM No. 1. The Community Center and three (3) vacant units were visited.

**2. Changes to Project Manual:**

- a. SECTION 01500 TEMPORARY FACILITIES AND CONTROLS: Paragraph 3.2 Temporary Utility Installation: ADD the following paragraph: "H. Electric Power Service For Work at Units: Provide temporary portable generators for electric power service at units. Do not use electricity from the existing service to a unit."

**3. Changes to Drawings:**

- a. SHEET A0.1: BATHROOM RENOVATION: Item 11. Time Constraints: ADD the following paragraph: "D. During the time of a contractor's work in a given unit, it is not required that a functioning bathroom in the unit is available to the resident, except that the bathtub, including water supply and drainage, shall be functional and usable at all times outside of the contractor's work days and times. (8:00 AM to 4:00 PM Monday through Friday)
- b. SHEET A1.0 SITE PLAN: REPLACE with attached SHEET A1.0 with revision date of 02-10-2020.
- c. SHEETS MP2.0, MP2.1, MP2.2 and MP2.3: PLUMBING DEMOLITION DRAWING NOTE 1. : DELETE removal of tub.

**End of Addendum No. 1**

Attachment:  
Sheet A1.0 dated 02-10-2020

SEAL

ALTERATIONS TO  
BRASWELL HOMES  
BESSEMER ALABAMA  
HOUSING AUTHORITY  
Bessemer, Alabama

REVISIONS  
GENERAL REV. 02-10-2020

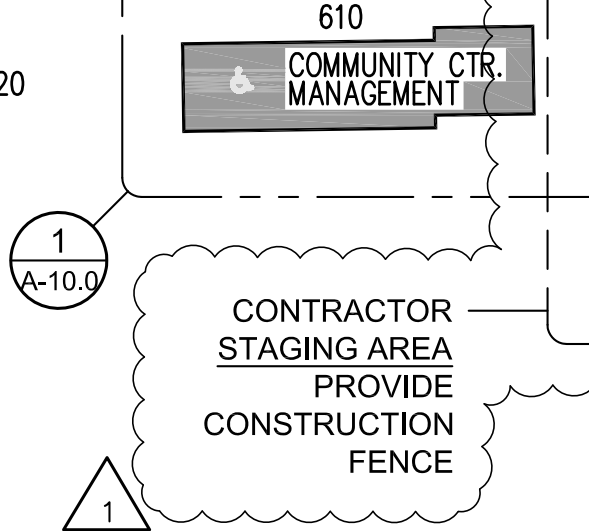
SHEET TITLE  
SITE PLAN

DRAWN CHECKED  
PRM LPR  
PROJECT NUMBER  
1592  
ISSUE DATE  
01-22-2020  
SHEET NUMBER

A1.0



1 SITE PLAN  
SCALE: 1" = 60'-0"  
0 20' 60' 120' 180'



- NOTES:
1. CONFINE OPERATIONS TO WITHIN THE WORK AREAS AND STAGING AREA. WHEN OUTSIDE THESE AREAS, TAKE THE NECESSARY SAFETY MEASURES REQUIRED BY CONTINUOUS OCCUPANCY OF THE SITE.
  2. CONSTRUCTION FENCE SHALL BE GALVANIZED CHAIN LINK FENCE 6'-0" HIGH. PROVIDE GATES AS REQUIRED.
  3. KEEP CONTRACTORS WORK AREAS AND STAGING AREA FREE OF TRASH. KEEP GRASS AND WEEDS CUT INSIDE THESE AREAS AND BETWEEN THESE AREAS AND ADJACENT BUILDINGS.
  4. IMMEDIATELY REPAIR ANY DAMAGE TO EXISTING SITE, ROADS DRIVEWAYS AND SIDEWALKS CAUSED BY THE WORK OF THIS CONTRACT.
  5. KEEP EXISTING ROADS AND DRIVEWAYS CLEAR AT ALL TIMES.

LEGEND

BUILDING NUMBER → 4  
STREET ADDRESS NUMBER → 3601 3603  
UNIT NUMBER → 7 8  
BUILDING TYPE → A

MOBILITY ACCESSIBLE UNIT  
H.V. HEARING/VISUAL UNIT

BUILDING AND UNIT TABULATION

| BUILDING TYPE        | NO. OF BLDG'S. | NUMBER OF UNITS BY TYPE PER BUILDING |      |      |      |          |          |          |         |         |             | TOTAL |     |
|----------------------|----------------|--------------------------------------|------|------|------|----------|----------|----------|---------|---------|-------------|-------|-----|
|                      |                | 1 BR                                 | 2 BR | 3 BR | 4 BR | 1 BR ACC | 2 BR ACC | 3 BR ACC | 1 BR HV | 2 BR HV | 3 BR HV/ACC |       |     |
| A                    | 17             | 33                                   |      |      |      |          |          |          | 1       |         |             |       | 34  |
| B                    | 40             |                                      | 79   |      |      |          |          |          |         | 1       |             |       | 80  |
| C                    | 22             |                                      |      | 37   |      |          |          | 6        |         |         | 1           |       | 44  |
| D                    | 1              |                                      |      |      | 2    |          |          |          |         |         |             |       | 2   |
| E                    | 1              | 3                                    |      |      |      |          |          |          |         |         |             |       | 3   |
| F                    | 1              |                                      | 2    |      |      |          | 1        |          |         |         |             |       | 3   |
| G                    | 2              |                                      | 5    |      |      | 1        |          |          |         |         |             |       | 6   |
| MANAGEMENT/COMMUNITY | 1              |                                      |      |      |      |          |          |          |         |         |             |       |     |
| TOTAL                | 85             | 36                                   | 86   | 37   | 2    | 1        | 1        | 6        | 1       | 1       | 1           |       | 172 |