



**ADDENDUM NO. 1**

Date: May 11, 2020

Phase 3 - Alterations to Branscomb Apartments  
Tuscaloosa Housing Authority  
Tuscaloosa, Alabama  
ADA Project No. 1610

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This Addendum to drawings and specifications for above referenced Project supersedes all contrary and conflicting information contained in said drawings and specifications. Said drawings and specifications are hereby amended in the following particulars and are in full force as part of this contract.

**GENERAL:**

A Pre-Bid Conference was held on May 7, 2020 at 2:00 PM at the site. A Sign-In Sheet is attached.

The following are questions raised at the Pre-Bid Conference. Responses are issued as a part of this Addendum and are in ALL CAPS below the question:

**1.) Will the existing appliances be removed by the Contractor?**

RESPONSE: YES, IN ACCORDANCE WITH SHEET G1.0 GENERAL SCOPE NOTE I. 8.

**2.) If electric power service will be paid for by the contractor, how will this arranged?**

RESPONSE: REFER TO ITEM B.1. OF THIS ADDENDUM.

**3.) Will Builder's Risk Insurance be required?**

RESPONSE: YES.

**4.) What times and days will the Contractor be allowed to work on the site?**

RESPONSE: REFER TO ITEM B.2. OF THIS ADDENDUM.

**5.) What permitting authority will permit this project?**

RESPONSE: THIS SITE IS LOCATED IN UNINCORPORATED TUSCALOOSA COUNTY AND THEREFORE SUBJECT TO TUSCALOOSA COUNTY REQUIREMENTS. TO THE BEST OF OUR KNOWLEDGE, TUSCALOOSA COUNTY DOES NOT REQUIRE BUILDING PERMITTING.

A. CHANGES TO PREVIOUS ADDENDA: (None)

B. CHANGES TO THE PROJECT MANUAL:

**1. Section 01500 – Temporary Facilities and Controls:**

- a. Paragraph 1.3 Use Charges, Subparagraph C. Electric Power Service: CHANGE to read as follows:

“Pay electric power service use charges for electricity used by all entities engaged in construction activities at Project site. At the time the Contractor takes possession of Phases 3A or 3B, the power accounts for each unit will be in the name of Tuscaloosa Housing Authority. The Owner and Contractor will work together to transfer the accounts to the Contractor for the duration of construction of the Phase. After Substantial Completion, the Owner and Contractor will work together to transfer the accounts to Tuscaloosa Housing Authority.”

- b. Subparagraph 3.2 A.: DELETE  
c. Subparagraph 3.2 F.: DELETE

**2. Section 01140 – Work Restrictions: ADD the following Paragraph:**

“1.3 WORK HOURS: Work on the site shall be limited to between the hours of 8:00 AM and 5:00 PM Monday through Saturday.”

**3. Section 08115 – SECURITY SCREEN DOOR: ADD the following to Paragraph 1.1 D.:**

“....Alternative acceptable manufacturer: Lansing Housing Products.”

C. CHANGES TO THE DRAWINGS:

- 1. REPLACE drawing sheet A12.2 with the attached sheet with a revision date of 05-11-2020.**

End of Addendum No. 1

**Attachments:**

- Pre-Bid Conference Sign-In Sheet
- Sheet A12.2 with revision date 05-11-2020

Sign-In-Sheet

THA IFB-021-001  
Pre-Bid Conference  
May 7, 2020 2:00 PM  
Phase 3 - Alterations to Branscomb Apts.

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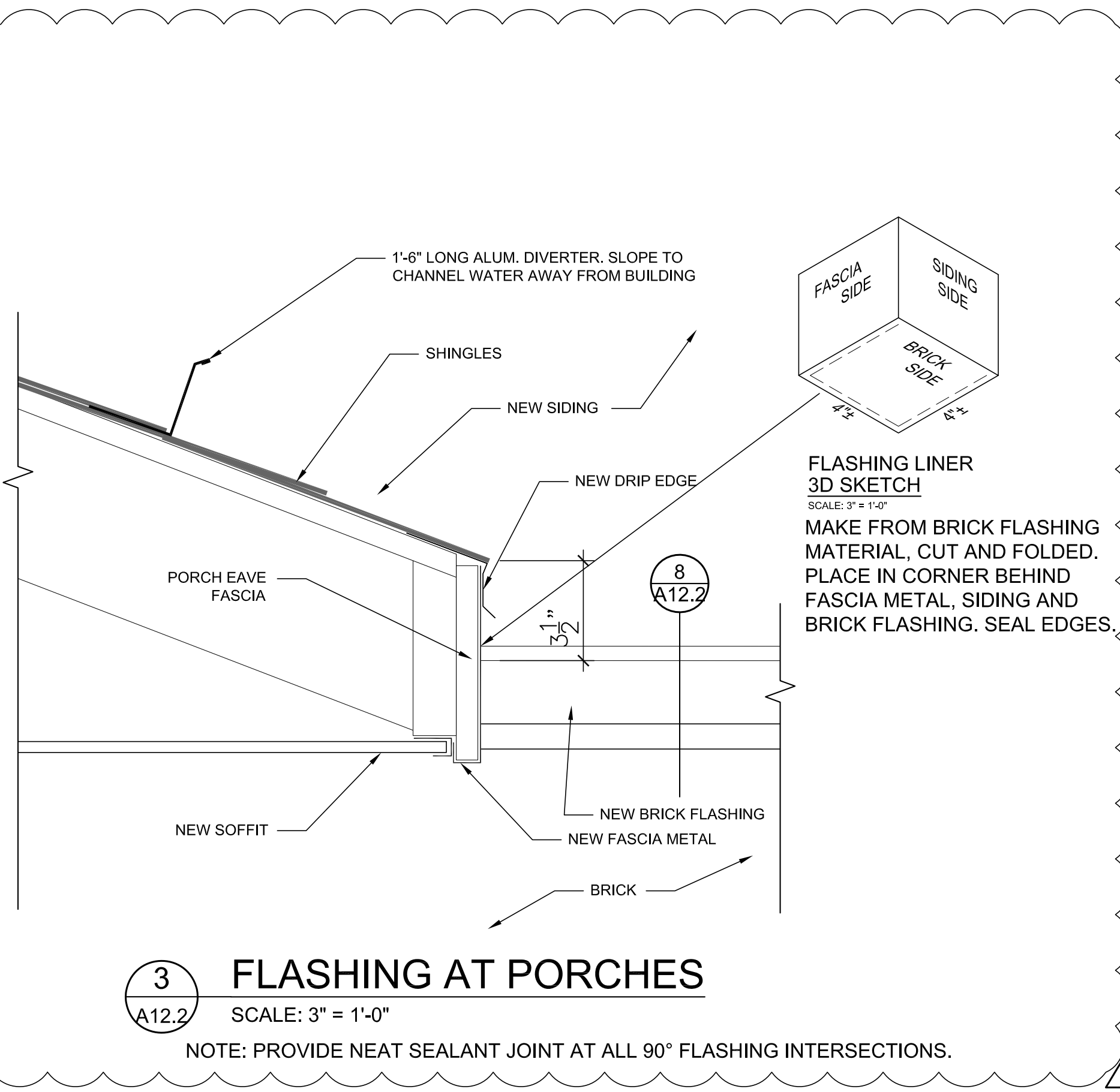
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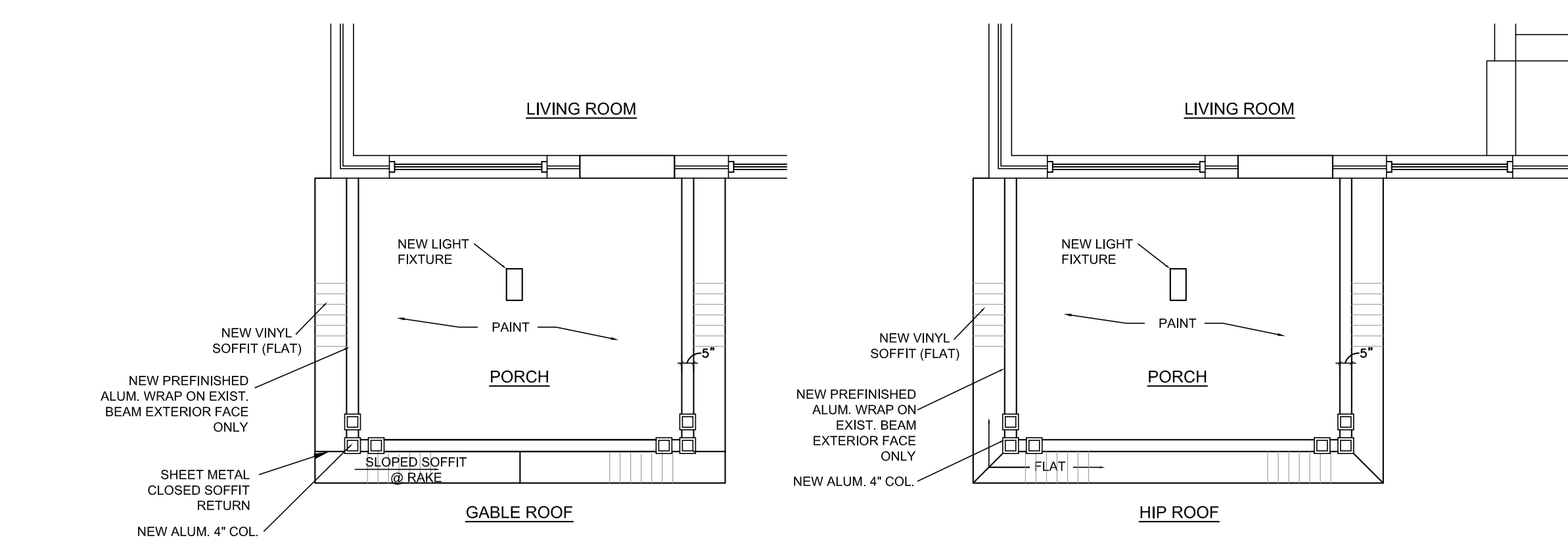
Reggie Kennedy Construction Works, Inc cedric@cwiatl.com

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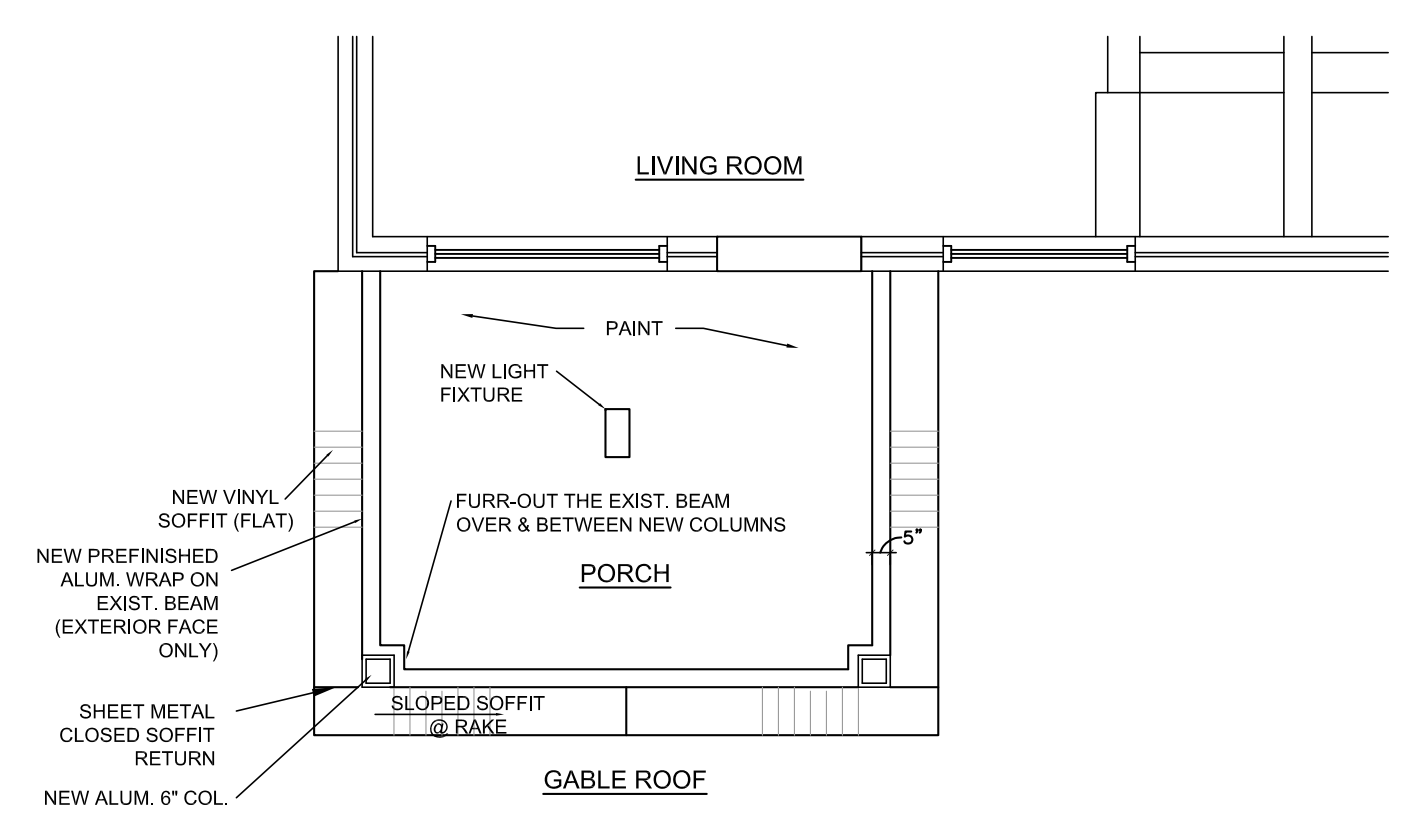


3 FLASHING AT PORCHES

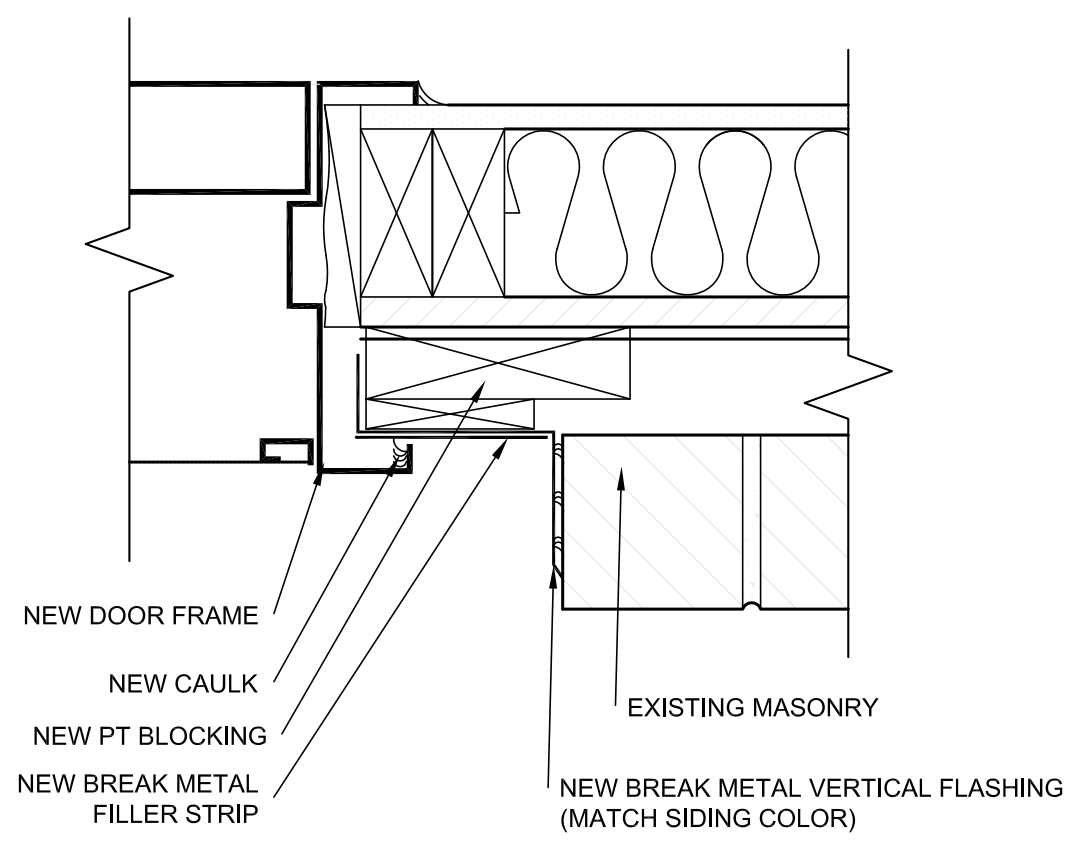
SCALE: 3" = 1'-0"  
NOTE: PROVIDE NEAT SEALANT JOINT AT ALL 90° FLASHING INTERSECTIONS.



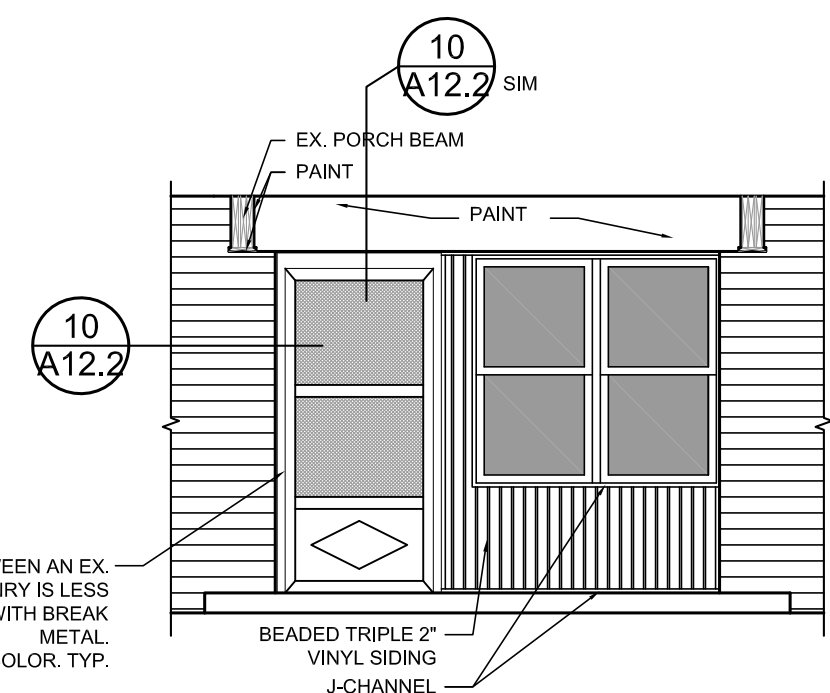
1 REFLECTED CEILING PLAN @ PORCH  
SCALE: 1/4" = 1'-0"  
4" COLUMNS SHOWN. REFER TO EXT. ELEVATIONS FOR OCCURRENCE.



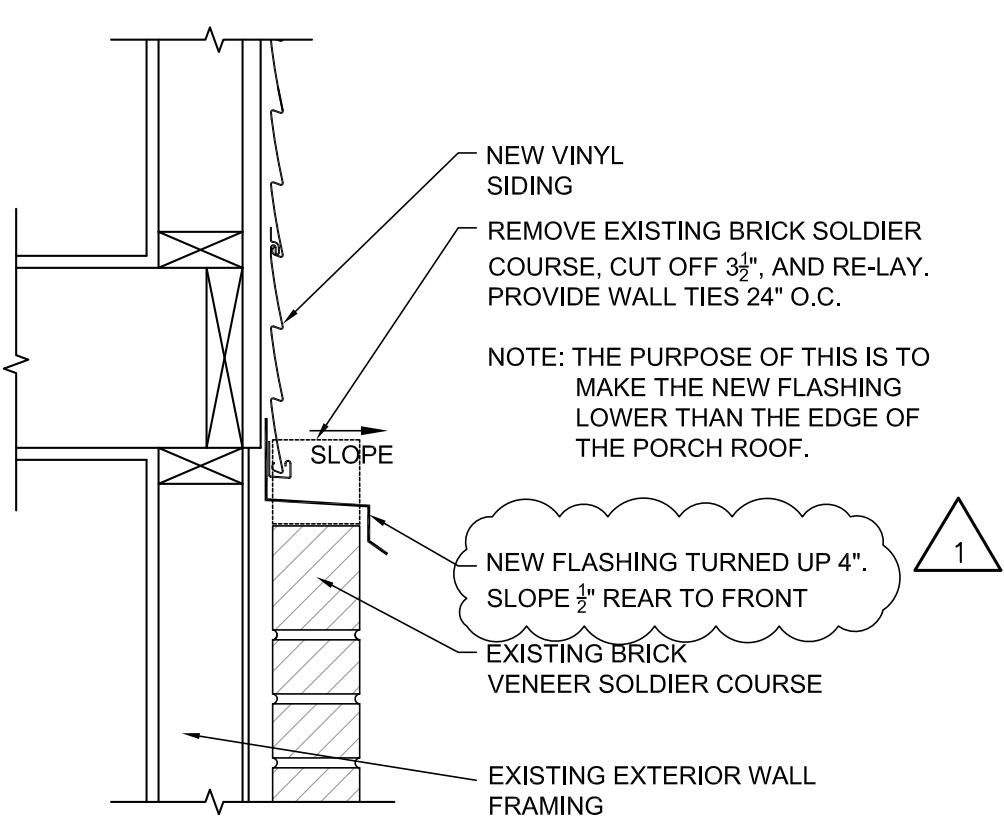
2 REFLECTED CEILING PLAN @ PORCH  
SCALE: 1/4" = 1'-0"  
6" COLUMNS SHOWN. REFER TO EXT. ELEVATIONS FOR OCCURRENCE.



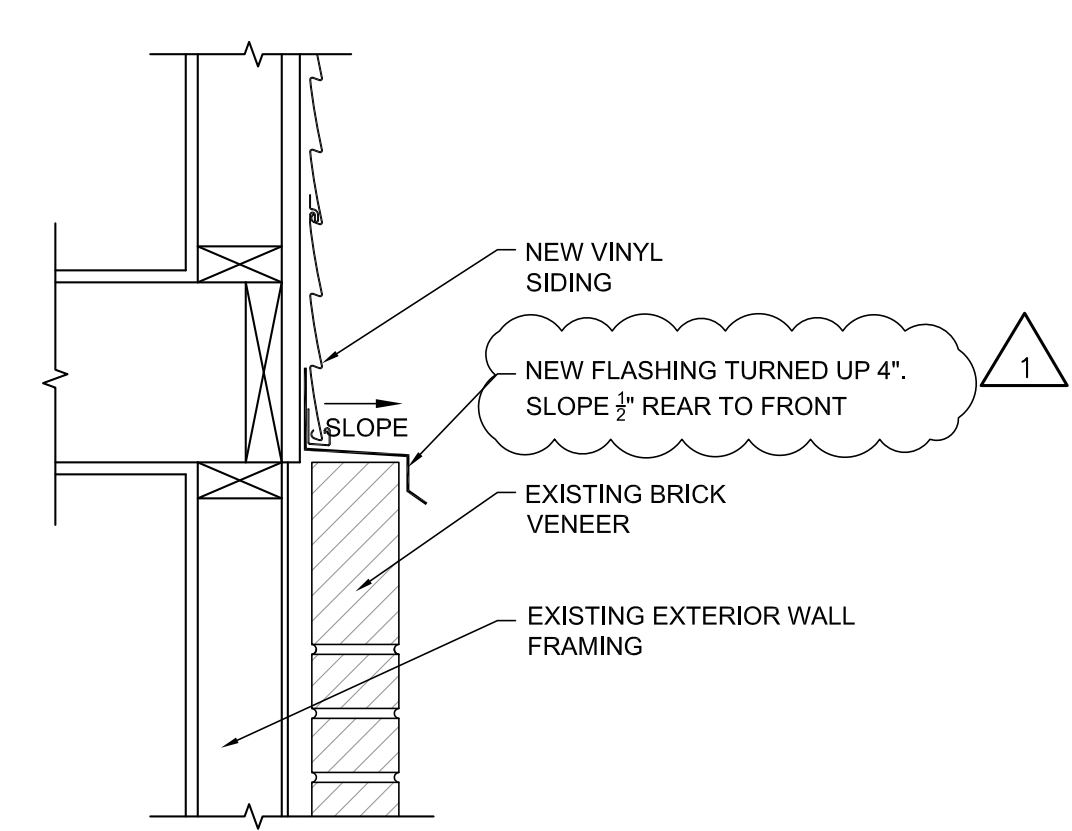
10 BREAK METAL DETAIL  
SCALE: 1 1/2" = 1'-0"



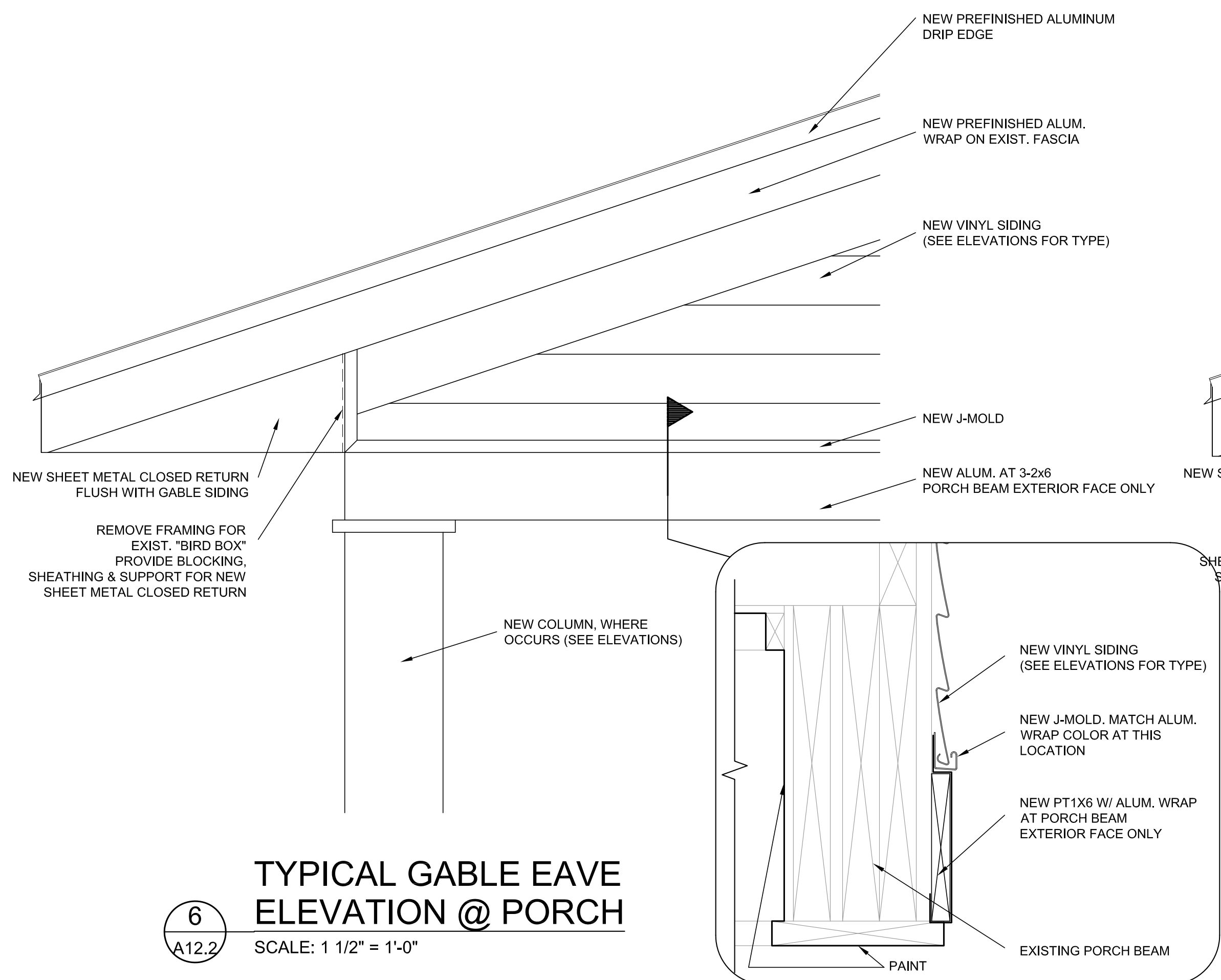
9 TYPICAL SIDING @ FRONT DOOR  
SCALE: 1/4" = 1'-0"



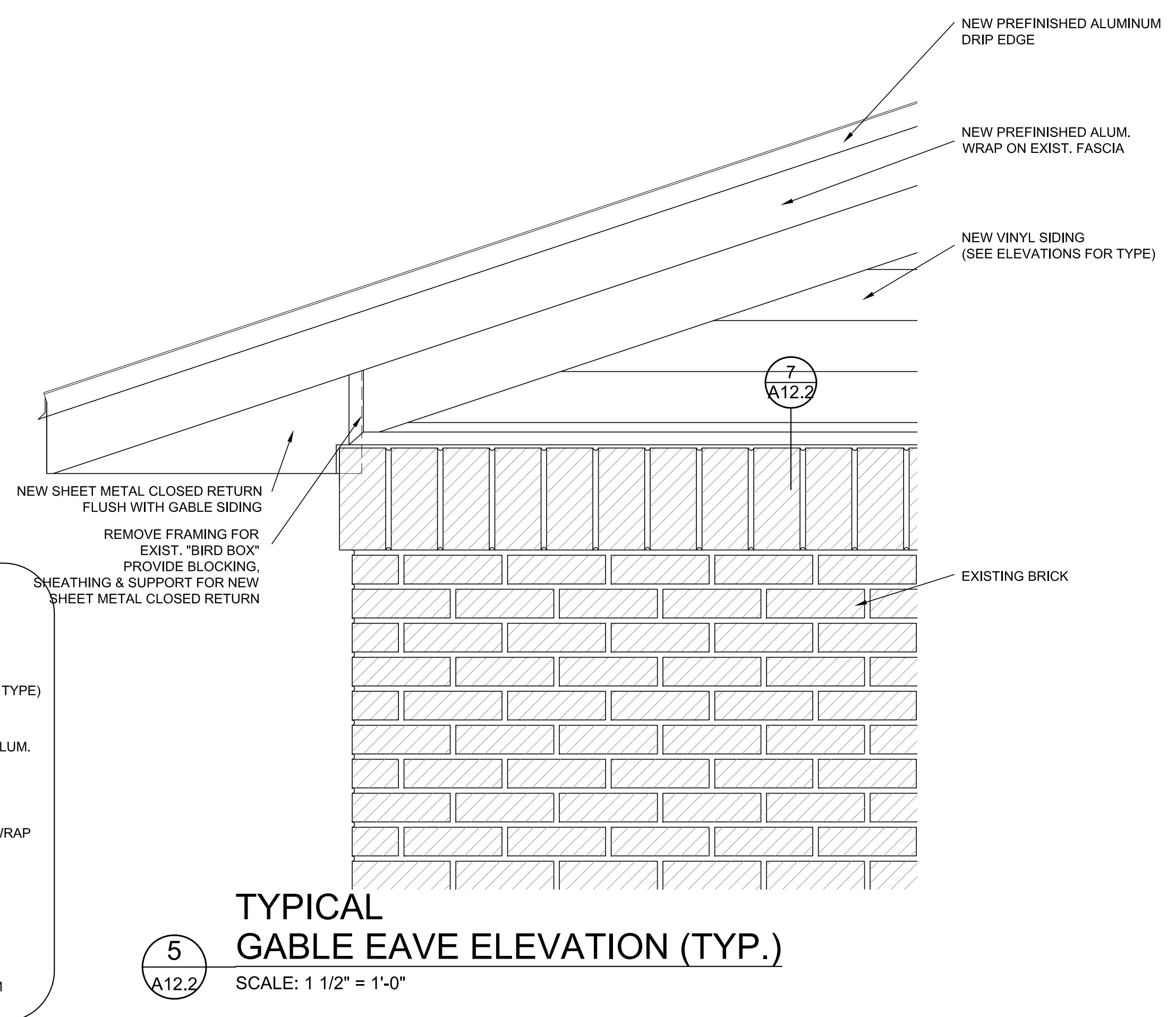
8 FLASHING @ TOP OF BRICK BETWEEN PORCHES  
SCALE: 1 1/2" = 1'-0"



7 TYPICAL FLASHING @ TOP OF BRICK  
SCALE: 1 1/2" = 1'-0"



6 TYPICAL GABLE EAVE ELEVATION @ PORCH  
SCALE: 1 1/2" = 1'-0"



5 TYPICAL GABLE EAVE ELEVATION (TYP.)  
SCALE: 1 1/2" = 1'-0"